

RESOLUTION NO. 26- 20

**PLAT VACATION  
For Tarek Saab  
PLANNING DEPARTMENT FILE VS0002-25**

**WHEREAS**, Tarek Saab filed a petition with Bonner County, Idaho for the vacation (abandonment) of a portion of Burley Drive, a 40' wide easement dedicated by the "Coyote Ridge" plat, thereof recorded in the records of Bonner County, Idaho; and

**WHEREAS**, the Bonner County Board of Commissioners held a duly noticed public hearing for the vacation of that easement (Planning Department File VS0002-25) on July 23, 2025, pursuant to the procedures of Idaho Code §§ 40-203 and 50-1325; and

**WHEREAS**, following the duly noticed public hearing, the Bonner County Board of Commissioners did adopt findings of fact and conclusions of law in support of the abandonment of the subject easement, concluding that:

Conclusion 1

This proposal is compliant with the vacation criteria and standards set forth at Idaho Code §§ 40-203 and 50-1325.

Conclusion 2

Bonner County has not received objections to the petition or application to vacate the described area.

Conclusion 3

The abandonment of the public right-of-way is in the public interest.

Conclusion 4

The landowner or landowners abutting said right-of-way do have access to his, her, or their property from some other public street, public right-of-way, or private road.

Conclusion 5

By granting this petition for vacation of private easement, real property adjoining the subject right of way will not be left without access to an established highway or public right of way.

**WHEREAS**, pursuant to the Board's condition of approval, the petitioners have paid all legal advertisement and recording costs for the vacation proceedings.

**NOW, THEREFORE BE IT RESOLVED** by the Board of County Commissioners, Bonner County, Idaho, that the portion of Burley Drive is hereby vacated, described in the attached Exhibit A.

**BE IT FURTHER RESOLVED** that all easements, franchise rights, appurtenances, or any other interests of any property owner or public utility in or across the property in question shall not be impaired by the granting of the vacation.

**ADOPTED** as a Resolution of the Board of County Commissioners of Bonner County, Idaho, upon a majority vote on March 17, 2026, contingent upon confirmation that the adjoining property does have means for access.

**Date of confirmation of access:** April 16, 2026

**BONNER COUNTY BOARD OF COMMISSIONERS**

  
\_\_\_\_\_  
Brian Domke, Chair


  
\_\_\_\_\_  
Asia Williams, Commissioner

  
\_\_\_\_\_  
Ron Korn, Commissioner

**ATTEST:** Michael W. Rosedale, Clerk

  
\_\_\_\_\_  
By Deputy Clerk

04.14.2026  
Date

Legal:   
\_\_\_\_\_

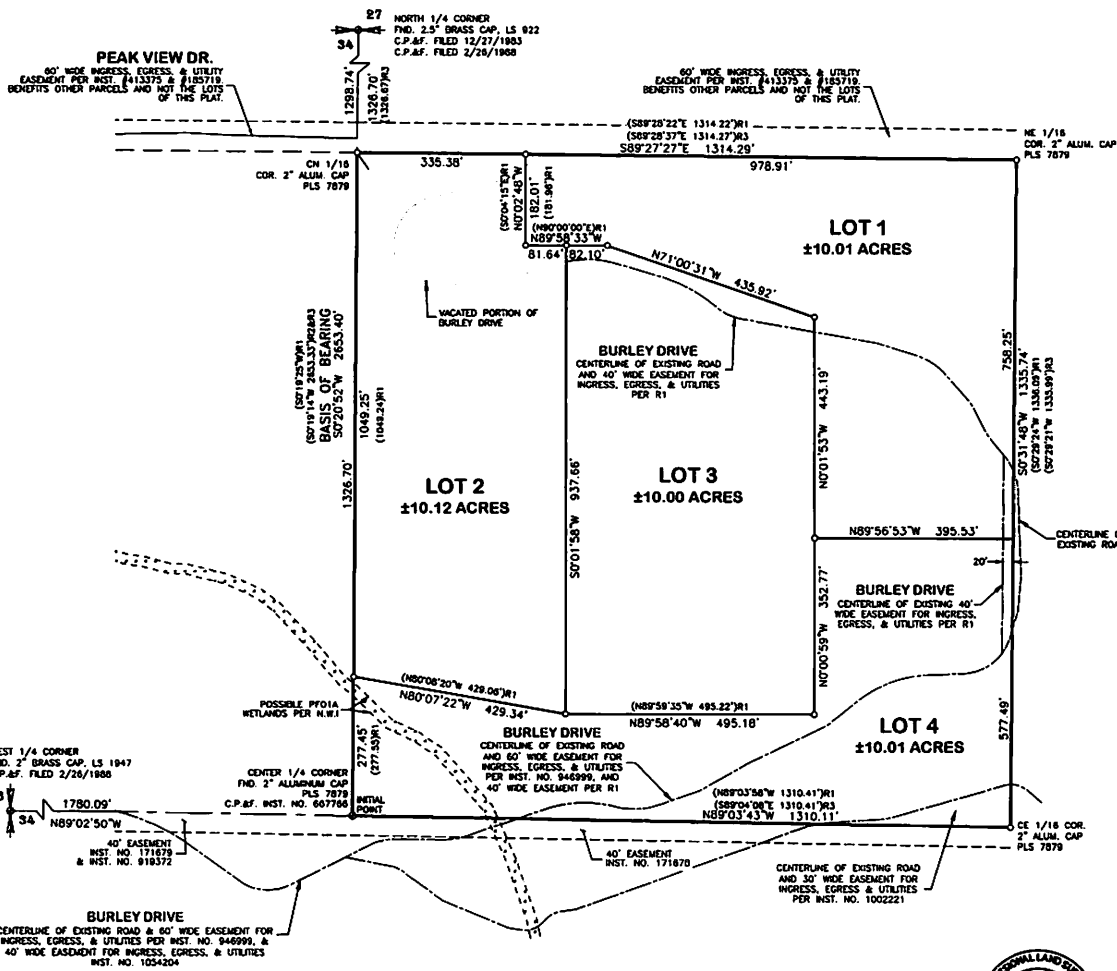
**Exhibit "A"**

That portion of Burley Drive as shown on the Plat of Coyote Ridge, recorded in Book 19 of Plats at Page 24, as Instrument #1009467, records of Bonner County, Idaho, located in the Southwest  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 34, Township 56 North, Range 3 West, Boise Meridian, Bonner County, Idaho, being more particularly described as follows:

**BEGINNING** where the centerline of Burley drive intersects the North Boundary of said Plat of Coyote Ridge; thence along said centerline southwesterly, southerly, and then easterly through Lot 1 and Lot 2 of said Plat of Coyote Ridge, until it intersects the East line of said Lot 2 being the **POINT OF ENDING**;

# AMENDED COYOTE RIDGE

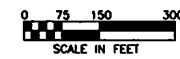
SECTION 34, TOWNSHIP 56 NORTH, RANGE 3 WEST, B.M., BONNER COUNTY, IDAHO



TRUE NORTH



SCALE=1"=150'



## BASIS OF BEARING

GEODEIC BASED ON GPS TIES BETWEEN THE CENTER 1/4 CORNER AND THE NORTH 1/4 CORNER OF SECTION 34, TOWNSHIP 56 NORTH, RANGE 3 WEST, BOISE MERIDIAN, BONNER COUNTY, IDAHO

## NARRATIVE

THE PURPOSE OF THIS REPEAT IS TO VACATE THAT PORTION OF BURLEY DRIVE, FROM THE NORTH LINE OF LOT 1, SOUTHEASTERLY, SOUTH, AND EASTERLY THROUGH LOTS 1 AND 2, TO THE EAST LINE OF LOT 2, AS SHOWN.

## REFERENCES

1. PLAT OF COYOTE RIDGE, BK. 19, PG. 24, INST. NO. 1009467
2. PLAT OF CHARBONNEAU ESTATES, BK. 8, PG. 9, INST. NO. 702771
3. RECORD OF SURVEY INST. NO. 667765
4. RECORD OF SURVEY INST. NO. 835722

## NOTES

1. OWNER 1 RETAINS OWNERSHIP OF LOTS 2, 3, AND 4.
2. OWNER 2 RETAINS OWNERSHIP OF LOT 1.
3. LOTS 1, 2, 3, & 4 HAVE NO LEGAL RIGHTS TO THE USE OF THE EASEMENT FOR PEAK VIEW DRIVE. LEGAL ACCESS IS ALONG BURLEY DRIVE, THROUGH PARCELS TO THE SOUTH.
4. PROJECT IS IN FLOOD ZONE X PER FIRM PANEL 16017C0925E. EFFECTIVE DATE: 11-18-2009.
5. BURLEY DRIVE IS PRIVATE AND PRIVATELY MAINTAINED.
6. THE INGRESS, EGRESS, AND UTILITIES EASEMENT ALONG BURLEY DRIVE IS FOR THE BENEFIT OF ALL OF THE LOTS.

## LEGEND

- ..... 5/8" REBAR WITH PLASTIC CAP, PLS 7879 UNLESS OTHERWISE NOTED
- ▲ ..... COMPUTED POINT
- ( ) ..... RECORD DIMENSION PER REFERENCE SHOWN

## SURVEYOR'S NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO VACATE A PORTION OF THE EASEMENT FOR BURLEY DRIVE. THE BOUNDARY WAS DETERMINED BY FOUND MONUMENTS AND THE REFERENCES SHOWN.



SECTION 34, TWP 56N, R3E, S14M	SHEET TITLE: <b>AMENDED COYOTE RIDGE</b>	DATE: 12-2-20
		SCALE: 1"=150'
	<b>James A. Sewell and Associates, Inc.</b>	DATE: 12-2-20
	<b>ENGINEERS-SURVEYORS-PLANNERS</b>	DATE: 12-2-20
	SANDPOINT, ID, 83864, (208)263-4160	DATE: 12-2-20



# Bonner County Planning Department

*"Protecting property rights and enhancing property value"*

1500 Highway 2, Suite 208, Sandpoint, Idaho 83864

Phone (208) 265-1458 - Fax (208) 265-1463

Email: [planning@bonnercountyid.gov](mailto:planning@bonnercountyid.gov) - Web site: [www.bonnercountyid.gov](http://www.bonnercountyid.gov)

April 6, 2026

## Memorandum

To: Board of County Commissioners

From: Alex Feyen, Bonner County Planner

Re: Private Easement Vacation for a portion of Burley Drive, Planning Department File #VS0002-25.

Amendment to the description of location in the approved motion due to scrivener's error.

The Bonner County Board of Commissioners (Board) held a duly noticed public hearing on July 23, 2025 for the private easement vacation (abandonment) of a portion of Burley Drive, lying in a portion of Section 34, Township 56 North, Range 3 West, Boise Meridian, Idaho. The Board approved File #VS0002-25 to vacate a portion of Burley Drive.

Distribution:

Kendra Smith

Alex Feyen

Janna Brown

(Recommendation)

**Staff recommends the Board approve this correction, the Resolution was approved contingent upon confirmation of access on March 17, 2026.**

**Motion to Approve:**

**I move to approve Resolution, number to be assigned, vacating a portion of Burley Drive, located in Section 34, Township 56 North, Range 3 West, Boise Meridian, Idaho., contingent upon confirmation that the adjoining property does have a means for access.**

Recommendation Acceptance:  Yes  No

  
Commissioner Brian Domke, Chair

Date

4/14/26



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March 17, 2026

## Memorandum

To: Board of County Commissioners

From: Alex Feyen, Bonner County Planner

Re: Private Easement Vacation for a portion of Burley Drive, Planning Department File #VS0002-25.

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Distribution:  
Alex Feyen  
Janna Brown

(Recommendation)

**Staff recommends the Board approve this resolution.**

### Motion to Approve:

I move to approve Resolution, number to be assigned, vacating a portion of Burley Drive, located in Section 03, Township 56 North, Range 2 West, Boise Meridian, Idaho. contingent upon confirmation that the adjoining property does have means for access.

Recommendation Acceptance:  Yes  No

  
\_\_\_\_\_  
Commissioner Brian Domke, Chair

3/17/26  
Date

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For Tarek Saab  
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\_\_\_\_\_  
Asia Williams, Commissioner

  
\_\_\_\_\_  
Ron Korn, Commissioner

**ATTEST:** Michael W. Rosedale, Clerk

  
\_\_\_\_\_  
By Deputy Clerk

03.17.2026  
Date

Legal:   
\_\_\_\_\_

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